



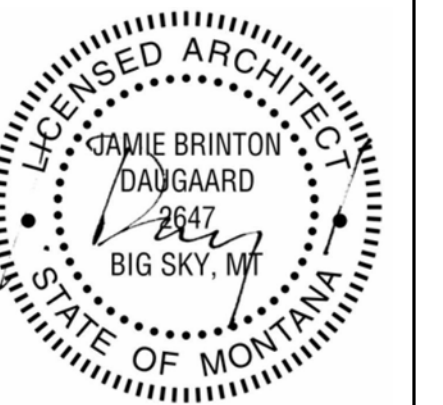
- COLORADO:
10125 RANCHO MONTECITO
DR. PARKER, COLORADO 80138
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- MONTANA:
P.O. BOX
11 LONE PEAK DR., UNIT
BIG SKY, MONTANA
P
- UTAH:
1960 SIDEWINDER DR., #
PARK CITY, UTAH
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YC58
 YELLOWSTONE CLUB
 BIG SKY, MONTANA

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 CONSTRUCTION



Issued For	Date
• 100% S.D.	03.05.2021
• Pricing #	-
• ARC Sketch Review	04.13.2021
• 100% D.D.	-
• ARC Final Review	05.18.2021
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• REV. #	-

Drawn By M.FUHER
 Date 05.18.2021
 Project # 2030.00
 Phase DESIGN DEVELOPMENT
 Sheet

A0-0.4
AREA PLANS

AREA ANALYSIS

DEFINITIONS:
SQUARE FOOT: LIVABLE FLOOR AREA AS MEASURED FROM EXTERIOR FACE OF STUD OR FACE OF CONCRETE WALL, INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES); DOES NOT INCLUDE FIREPLACE BUMP-OUTS, MECHANICAL SPACES, GARAGE SPACES, AND UNFINISHED BASEMENT AND/OR ATTIC SPACE.
GROSS SQUARE FOOT: TOTAL BUILDING AREA AS MEASURED FROM EXTERIOR DIMENSIONS INCLUDING THICKNESS OF ALL WALLS, INTERIOR AND EXTERIOR (EXCLUDING EXTERIOR FINISHES), MECHANICAL SPACES, GARAGE SPACES, AND ACCESSIBLE UNFINISHED SPACE; DOES NOT INCLUDE CRAWL SPACES, PATIOS AND DECKS.

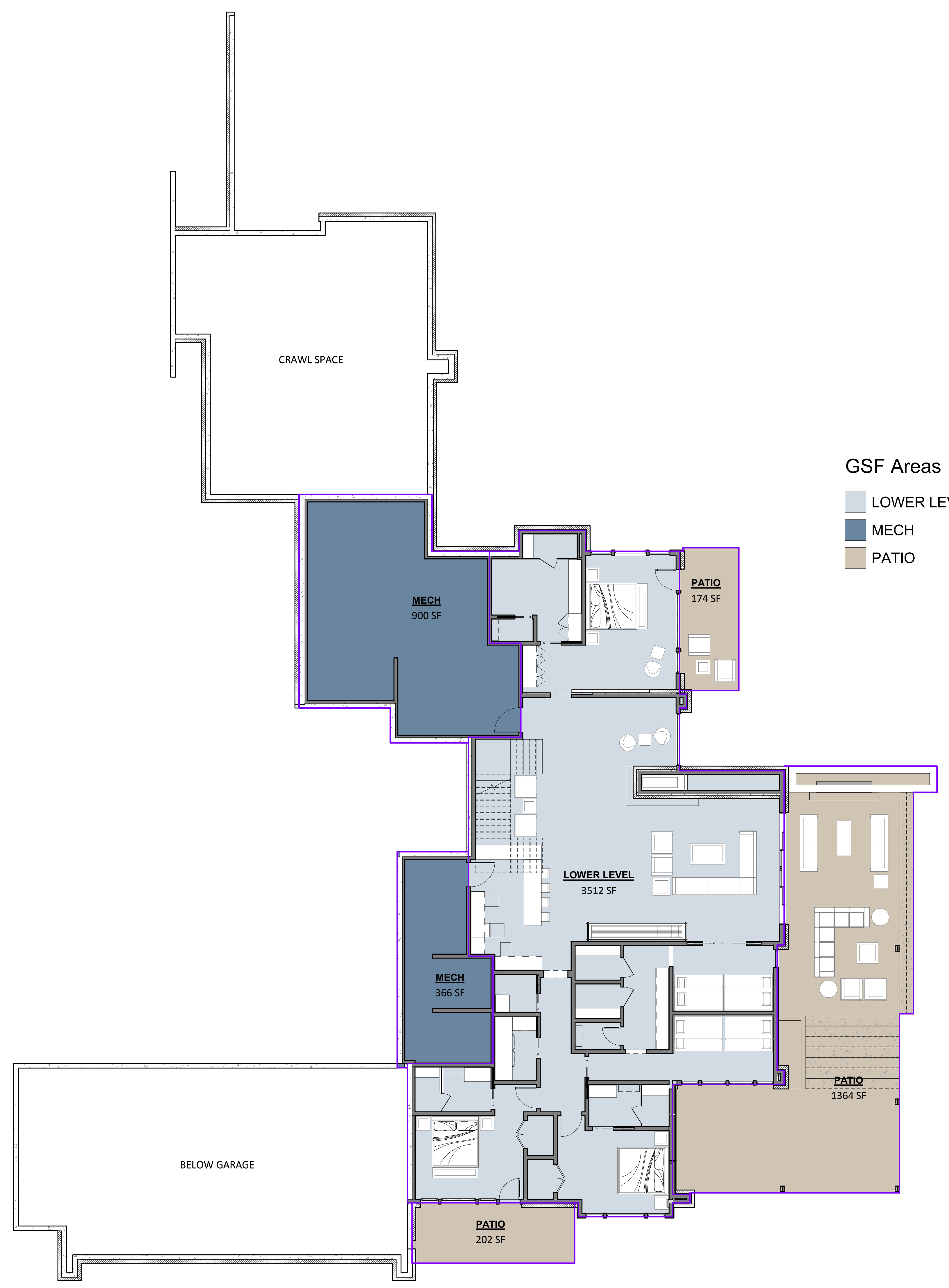
PROJECT SQUARE FOOTAGE	
NAME	AREA
LOWER LEVEL	3512.6 SF
MAIN LEVEL	5763.0 SF
HABITABLE	9274.6 SF
GARAGE	1419.4 SF
MECH	899.8 SF
MECH	365.5 SF
STORAGE	168.0 SF
NDM HABITABLE	2852.8 SF
GROSS AREA	12127.4 SF

EXTERIOR SQUARE FOOTAGE	
NAME	AREA
DECK	1271 SF
PATIO	1455 SF
EXTERIOR	3725 SF
TOTAL EXTERIOR	3725 SF



- GSF Areas**
- DECK
 - GARAGE
 - MAIN LEVEL
 - PATIO
 - STORAGE

2 MAIN LEVEL AREA PLAN
 1/8" = 1'-0"



- GSF Areas**
- LOWER LEVEL
 - MECH
 - PATIO

1 LOWER LEVEL AREA PLAN
 1/8" = 1'-0"



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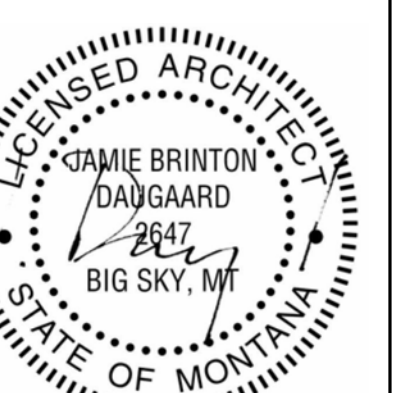
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Drawn By M.FUHRER
 Date 05.18.2021
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 Phase DESIGN DEVELOPMENT
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A1-1.0
 LOWER LEVEL PLAN
 OVERALL

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FRAMING UNLESS NOTED OTHERWISE.
- ALL WOOD-FRAMED FLOORS TO RECEIVE 1 1/2" L.W. GYPSUM CONCRETE LAYER WITH EMBEDDED RADIANT HEAT TUBING U.N.O. ALL CONC. SLAB FLOORING SHALL HAVE EMBEDDED RADIANT HEAT TUBING U.N.O. - REFERENCE MECHANICAL CONTRACTOR FOR FURTHER INFORMATION. CENTER ALL DOORS ABOUT WALL OR SPACE UNLESS INDICATED OTHERWISE.
- ALL BARN DOOR OPENINGS SHALL BE GWB CASED OPENINGS AND SHALL HAVE A CLEAR OPENING 2" LESS THAN THAT OF THE DOOR PANEL WIDTH (TYP. U.N.O.). THE GENERAL CONTRACTOR AND/OR WINDOW MANUFACTURER/SUPPLIER SHALL BE RESPONSIBLE FOR ENSURING THAT SAFETY GLASS IS PROVIDED WHERE APPLICABLE IN ACCORDANCE WITH 2012 IRC SECTION R308.4.
- RADON MITIGATION SYSTEM SHALL BE INSTALLED UNDER ALL CONCRETE SLABS (TYP). ANY AND ALL POST AND BEAM SIZES SHALL BE CROSS CHECKED WITH STRUCTURAL DRAWINGS, NOTIFY ARCHITECT OF ANY DISCREPANCIES (TYP).
- WATER SUPPLY (W.S.) TO BE LOCATED ON NON-VISIBLE SIDE OF TOILET (TYP).
- MATERIAL TRANSITION TO FALL BELOW DOOR LEAF (TYP).
- STAIR WALLS SHALL BE FRAMED WITH LVL'S.
- ANY WALL SUPPORTING FLOATING SHELVING SHALL BE FRAMED WITH LVL'S.
- HOT TUB COORD. WITH OWNER ON MFR, SIZE, MECH ACCESS, COVER LOCATION WHEN OPEN AND CONFIRM SIZE OF RECESSED OPENING.
- WE PLAN ON FRAMING ALL THE WALLS WITH LSL MATERIAL TO ENSURE THEY ARE STRAIGHT AND WILL STAND UP TO A LEVEL 4 DRYWALL FINISH.
- WE HAVE INCLUDED ZIP PANEL SHEATHING WITH TAPED SEAMS ON THE EXTERIOR.
- 1-1/2" THICK BLOCKS AT ALL EXTERIOR SCANCES, HOSE BIB, OUTLET LOCATIONS.

KEYNOTE LEGEND

KEYNOTE NUMBER	KEYNOTE TEXT
1	A3-0.3
2	A3-0.1
3	A3-0.6
4	A3-0.2
5	A3-0.7
6	A3-0.2
7	A3-0.6
8	A3-0.2
9	A3-0.2
10	A3-2.2
11	A3-0.3
12	A3-0.2
13	A3-0.2
14	A3-0.1
15	A3-0.1
16	A3-0.1



PROJECT SQUARE FOOTAGE

NAME	AREA
LOWER LEVEL	3511.6 SF
MAIN LEVEL	5763.0 SF
HABITABLE	9274.6 SF
GARAGE	1419.4 SF
MECH 1	899.8 SF
MECH	365.5 SF
STORAGE	168.0 SF
NON HABITABLE	2852.8 SF
GROSS AREA	12127.4 SF

EXTERIOR SQUARE FOOTAGE

NAME	AREA
DECK	1273 SF
PATIO	2455 SF
EXTERIOR	3725 SF
TOTAL EXTERIOR	3725 SF

1 OVERALL LOWER LEVEL PLAN
 1/8" = 1'-0"



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BARCLAY
80X41X29 SLIPPER COPPER TUB



BUOYANT CABLE WINE STORAGE

GENERAL NOTES:	
1.	ALL DIMENSIONS ARE TO FRAMING UNLESS NOTED OTHERWISE.
2.	ALL WOOD FRAMED FLOORS TO RECEIVE 1 1/2" L.W. GYPSUM CONCRETE LAYER WITH EMBEDDED RADIANT HEAT TUBING U.N.O. ALL CONC. SLAB FLOORING SHALL HAVE MIRRDED RADIANT HEAT TUBING U.N.O. - REFERENCE MECHANICAL CONTRACTOR FOR FURTHER INFORMATION. CENTER ALL DOORS ABOUT WALL OR SPACE UNLESS INDICATED OTHERWISE.
3.	ALL BARN DOOR OPENINGS SHALL BE GWB CASED OPENINGS AND SHALL HAVE A CLEAR OPENING 2" LESS THAT OF THE DOOR PANEL WIDTH (TYP. U.N.O.) THE GENERAL CONTRACTOR AND/OR WINDOW MANUFACTURER/SUPPLIER SHALL BE RESPONSIBLE FOR ENSURING THAT SAFETY GLASS IS PROVIDED WHERE APPLICABLE IN ACCORDANCE WITH 2012 IRC SECTION R308.4
4.	RADON MITIGATION SYSTEM SHALL BE INSTALLED UNDER ALL CONCRETE SLABS. (TYP)
5.	ANY AND ALL POST AND BEAM SIZES SHALL BE CROSS CHECKED WITH STRUCTURAL DRAWINGS, NOTIFY ARCHITECT OF ANY DISCREPANCIES. (TYP)
6.	WATER SUPPLY (W.S.) TO BE LOCATED ON NON-VISIBLE SIDE OF TOILET (TYP)
7.	MATERIAL TRANSITION TO FALL BELOW DOOR LEAF (TYP)
8.	STAIR WALLS SHALL BE FRAMED WITH LVL'S
9.	ANY WALL SUPPORTING FLOATING SHELVING SHALL BE FRAMED WITH LVL'S
10.	HOT TUB COORD. WITH OWNER ON MFR, SIZE, MECH ACCESS, COVER LOCATION WHEN OPEN AND CONFIRM SIZE OF RECESSED OPENING
11.	WE PLAN ON FRAMING ALL THE WALLS WITH LSL MATERIAL TO ENSURE THEY ARE STRAIGHT AND WILL STAND UP TO A LEVEL 4 DRYWALL FINISH
12.	WE HAVE INCLUDED ZIP PANEL SHEATHING WITH TAPED SEAMS ON THE EXTERIOR
13.	1-1/2" THICK BLOCKS AT ALL EXTERIOR SCONES, HOSE BIB, OUTLET LOCATIONS (TYP)
14.	
15.	

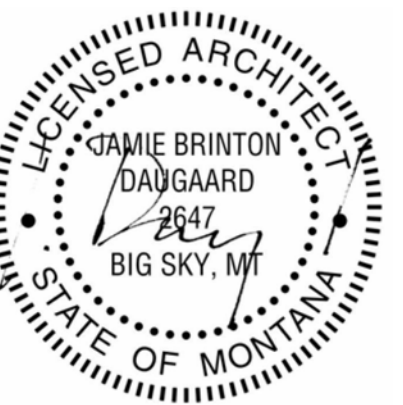
KEYNOTE LEGEND	
KEYNOTE NUMBER	KEYNOTE TEXT



1 OVERALL MAIN LEVEL PLAN
1/8" = 1'-0"

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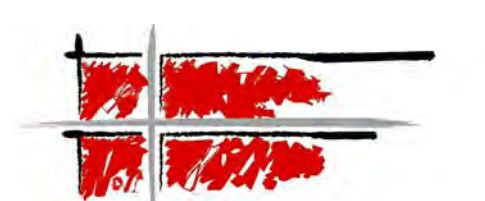
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• REV. #	-

Drawn By **M.FUHRER**
Date **05.18.2021**
Project # **2030.00**
Phase **DESIGN DEVELOPMENT**
Sheet

A1-1.1
MAIN LEVEL PLAN
OVERALL

PROJECT SQUARE FOOTAGE	
NAME	AREA
LOWER LEVEL	3511.6 SF
MAIN LEVEL	5763.0 SF
HABITABLE	9274.6 SF
GARAGE	1419.4 SF
MECH	899.8 SF
MECH	365.5 SF
STORAGE	168.0 SF
NON HABITABLE	2852.8 SF
GROSS AREA	12127.4 SF

EXTERIOR SQUARE FOOTAGE	
NAME	AREA
DECK	1273.1 SF
PATIO	2455.5 SF
EXTERIOR	3725.5 SF
TOTAL EXTERIOR	3725.5 SF



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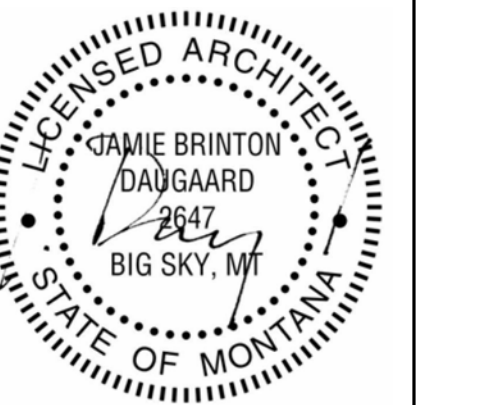
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A1-1.2
LOWER LEVEL PLAN
NORTH

FLOOR PLAN LEGEND

	CENTERLINE
	AUTOMATIC BLIND: SHEER
	AUTOMATIC BLIND: BLACK OUT
	ACCENT DRAPE
	ARCHITECTURAL WALL
	CONVENTIONAL WOOD FRAMING - STANDARD THICKNESS 2x6 U.N.O.
	CONCRETE WALL - STANDARD THICKNESS 8" U.N.O.
	STONE MASONRY
	INDICATES COLUMN VERIFY SIZE AND TYPE WITH STRUCTURAL DRAWINGS TYP.
	SNOW SHED

- GENERAL NOTES:**
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 - 1/2" THICK BLOCKS AT ALL EXTERIOR SCANCES, HOSE BIB, OUTLET LOCATIONS, ETC.

KEYNOTE LEGEND

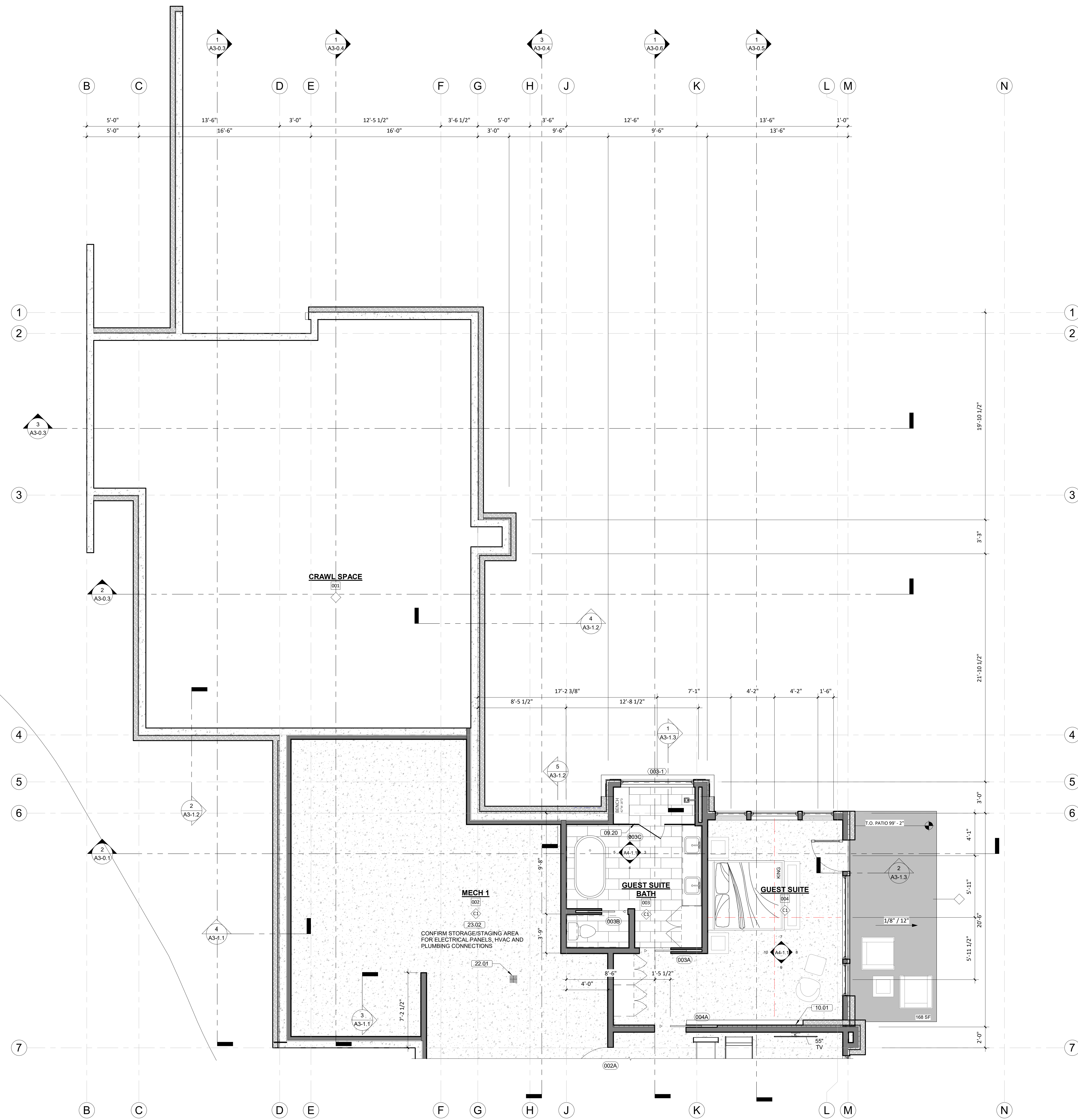
KEYNOTE NUMBER	KEYNOTE TEXT
09.20	CURBLESS SHOWER
14.01	PROVIDE REINFORCEMENT IN WALL FOR FUTURE GRAB BAR INSTALLATION. SEE 03.3 FOR REQUIREMENTS.
22.01	FLOOR DRAIN, COORDINATE LOCATION WITH MECHANICAL LAYOUT
23.01	CONFIRM STORAGE/STAGING AREA FOR ELECTRICAL PANELS, HVAC AND PLUMBING CONNECTIONS
23.02	NO RADIANT FLOOR HEATING

PROJECT SQUARE FOOTAGE

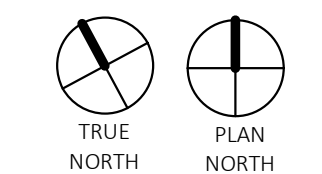
NAME	AREA
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MAIN LEVEL	5763.0 SF
HABITABLE	9274.6 SF
GARAGE	1419.4 SF
MECH	899.8 SF
MECH	365.5 SF
STORAGE	168.0 SF
NON HABITABLE	2852.8 SF
GROSS AREA	12127.4 SF

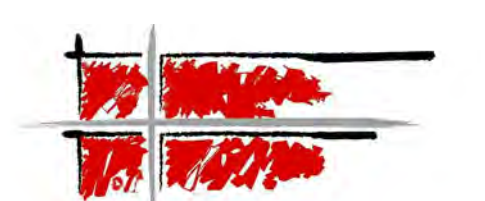
EXTERIOR SQUARE FOOTAGE

NAME	AREA
DECK	1273 SF
PATIO	2455 SF
EXTERIOR	3725 SF
TOTAL EXTERIOR	3725 SF



1 LOWER LEVEL PLAN
 1/4" = 1'-0"





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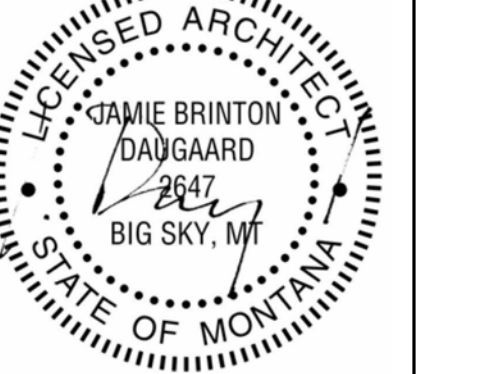
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A1-1.3
LOWER LEVEL PLAN
SOUTH

FLOOR PLAN LEGEND

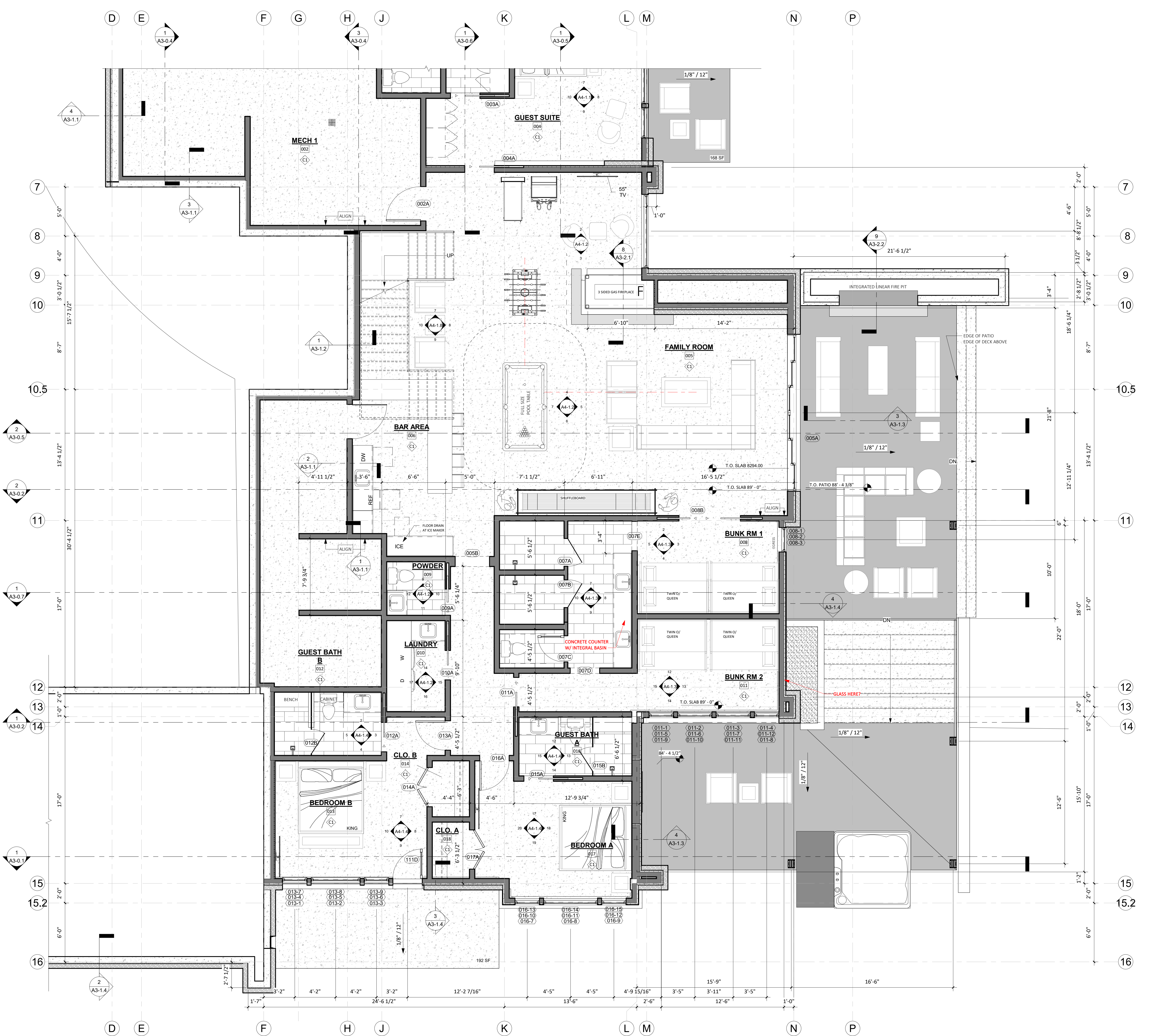
	CENTERLINE
	AUTOMATIC BLIND-SHEER
	AUTOMATIC BLIND-BLACK OUT
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	CONCRETE WALL - STANDARD THICKNESS 8" U.N.O.
	STONE MASONRY
	INDICATES COLUMN VERIFY SIZE AND TYPE WITH STRUCTURAL DRAWINGS TYP.
	SNOW SHED

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- 1 1/2" THICK BLOCKS AT ALL EXTERIOR SCISSORS, HOSE BIB, OUTLET LOCATIONS (TYP).

KEYNOTE LEGEND

KEYNOTE NUMBER	KEYNOTE TEXT
----------------	--------------



PROJECT SQUARE FOOTAGE

NAME	AREA
LOWER LEVEL	3511.6 SF
MAIN LEVEL	5763.0 SF
HABITABLE	9274.6 SF
GARAGE	1413.4 SF
MECH	895.8 SF
MECH	365.5 SF
STORAGE	168.0 SF
NON HABITABLE	2852.8 SF
GROSS AREA	12127.4 SF

EXTERIOR SQUARE FOOTAGE

NAME	AREA
DECK	1273.5 SF
PATIO	2455.5 SF
EXTERIOR	3729.0 SF
TOTAL EXTERIOR	3729.0 SF

1 LOWER LEVEL PLAN
 1/4" = 1'-0"



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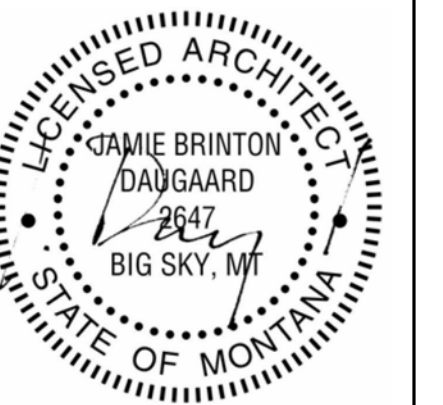
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A1-1.4
MAIN LEVEL PLAN
NORTH

FLOOR PLAN LEGEND

- CENTERLINE
- AUTOMATIC BLIND-SHEER
- ACCENT DRAPE
- ARCHITECTURAL WALL
- CONVENTIONAL WOOD FRAMING
- STANDARD THICKNESS 2x6 U.N.O.
- CONCRETE WALL
- STANDARD THICKNESS 8" U.N.O.
- STONE MASONRY
- INDICATES COLUMN
VERIFY SIZE AND TYPE WITH STRUCTURAL DRAWINGS TYP.
- SNOW SHED

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13. 1/2" THICK BLOCKS AT ALL EXTERIOR SCANCES, HOSE BIB, OUTLET LOCATIONS.

KEYNOTE LEGEND

KEYNOTE NUMBER	KEYNOTE TEXT
03.01	FREESTANDING - ROCK BENCH
09.20	CURBLESS SHOWER
11.30	COPPER FREESTANDING BATH TUB

PROJECT SQUARE FOOTAGE

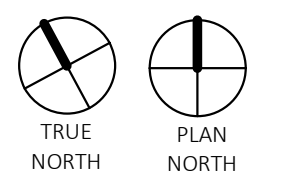
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HABITABLE	9274.6 SF
GARAGE	1433.4 SF
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NON HABITABLE	2852.8 SF
GROSS AREA	12127.4 SF

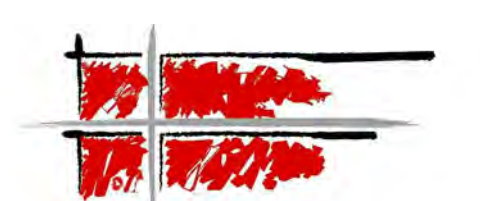
EXTERIOR SQUARE FOOTAGE

NAME	AREA
DECK	1273 SF
PATIO	2455 SF
EXTERIOR	3725 SF
TOTAL EXTERIOR	3725 SF



1 MAIN LEVEL PLAN - ENLARGED NORTH
 1/4" = 1'-0"





COLORADO:
 10125 RANCHO MONTECITO
 DR. PARKER, COLORADO 80138
 P

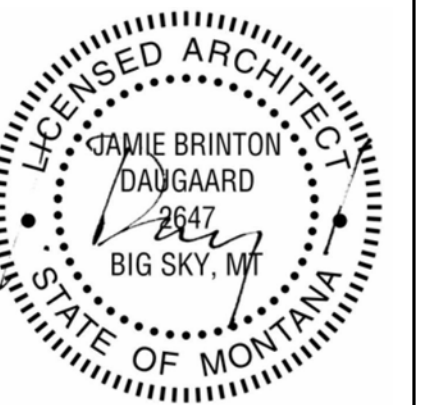
MONTANA:
 P.O. BOX
 11 LONE PEAK DR., UNIT
 BIG SKY, MONTANA
 P

UTAH:
 1960 SIDEWINDER DR., #
 PARK CITY, UTAH
 P

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 YELLOWSTONE CLUB
 BIG SKY, MONTANA

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Issued For	Date
• 100% S.D.	03.05.2021
• Pricing #	-
• ARC Sketch Review	04.13.2021
• 100% D.D.	-
• ARC Final Review	05.18.2021
• 100% C.D.	-
• REV. #	-

Drawn By: Author
 Date: 05.18.2021
 Project #: 2030.00
 Phase: DESIGN DEVELOPMENT
 Sheet

A1-1.5
MAIN LEVEL PLAN
SOUTH

FLOOR PLAN LEGEND

	CENTERLINE
	AUTOMATIC BLIND-SHEER
	AUTOMATIC BLIND-BLACK OUT
	ACCENT DRAPE
	ARCHITECTURAL WALL
	CONVENTIONAL WOOD FRAMING - STANDARD THICKNESS 2x6 U.N.O.
	CONCRETE WALL - STANDARD THICKNESS 8" U.N.O.
	STONE MASONRY
	INDICATES COLUMN VERIFY SIZE AND TYPE WITH STRUCTURAL DRAWINGS TYP.
	SNOW SHED

- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO FRAMING UNLESS NOTED OTHERWISE.
 - ALL WOOD-FRAMED FLOORS TO RECEIVE 1 1/2" L.V. GYPSUM CONCRETE LAYER WITH EMBEDDED RADIANT HEAT TUBING U.N.O. ALL CONC. SLAB FLOORING SHALL HAVE WIREBRED RADIANT HEAT TUBING U.N.O. - REFERENCE MECHANICAL CONTRACTOR FOR FURTHER INFORMATION. CENTER ALL DOORS ABOUT WALL OR SPACE UNLESS INDICATED OTHERWISE.
 - ALL BARN DOOR OPENINGS SHALL BE GWB CASED OPENINGS AND SHALL HAVE A CLEAR OPENING 2" LESS THAT OF THE DOOR PANEL WIDTH (TYP. U.N.O.). THE GENERAL CONTRACTOR AND/OR WINDOW MANUFACTURER/SUPPLIER SHALL BE RESPONSIBLE FOR ENSURING THAT SAFETY GLASS IS PROVIDED WHERE APPLICABLE IN ACCORDANCE WITH 2012 IRC SECTION R308.4. RADON MITIGATION SYSTEM SHALL BE INSTALLED UNDER ALL CONCRETE SLABS. (TYP.) ANY AND ALL POST AND BEAM SIZES SHALL BE CROSS CHECKED WITH STRUCTURAL DRAWINGS, NOTIFY ARCHITECT OF ANY DISCREPANCIES. (TYP.) WATER SUPPLY (W.S.) TO BE LOCATED ON NON-VISIBLE SIDE OF TOILET (TYP.) MATERIAL TRANSITION TO FALL BELOW DOOR LEAF (TYP.) STAIR WALLS SHALL BE FRAMED WITH LVL'S ANY WALL SUPPORTING FLOATING SHELVING SHALL BE FRAMED WITH LVL'S HOT TUB COORD. WITH OWNER ON MFR, SIZE, MECH ACCESS, COVER LOCATION WHEN OPEN AND CONFIRM SIZE OF RECESSED OPENING. WE PLAN ON FRAMING ALL THE WALLS WITH LSL MATERIAL TO ENSURE THEY ARE STRAIGHT AND WILL STAND UP TO A LEVEL 4 DRYWALL FINISH. WE HAVE INCLUDED ZIP PANEL SHEATHING WITH TAPED SEAMS ON THE EXTERIOR 1-1/2" THICK BLOCKS AT ALL EXTERIOR SCANCES, HOSE BIB, OUTLET LOCATIONS (TYP.)
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KEYNOTE LEGEND

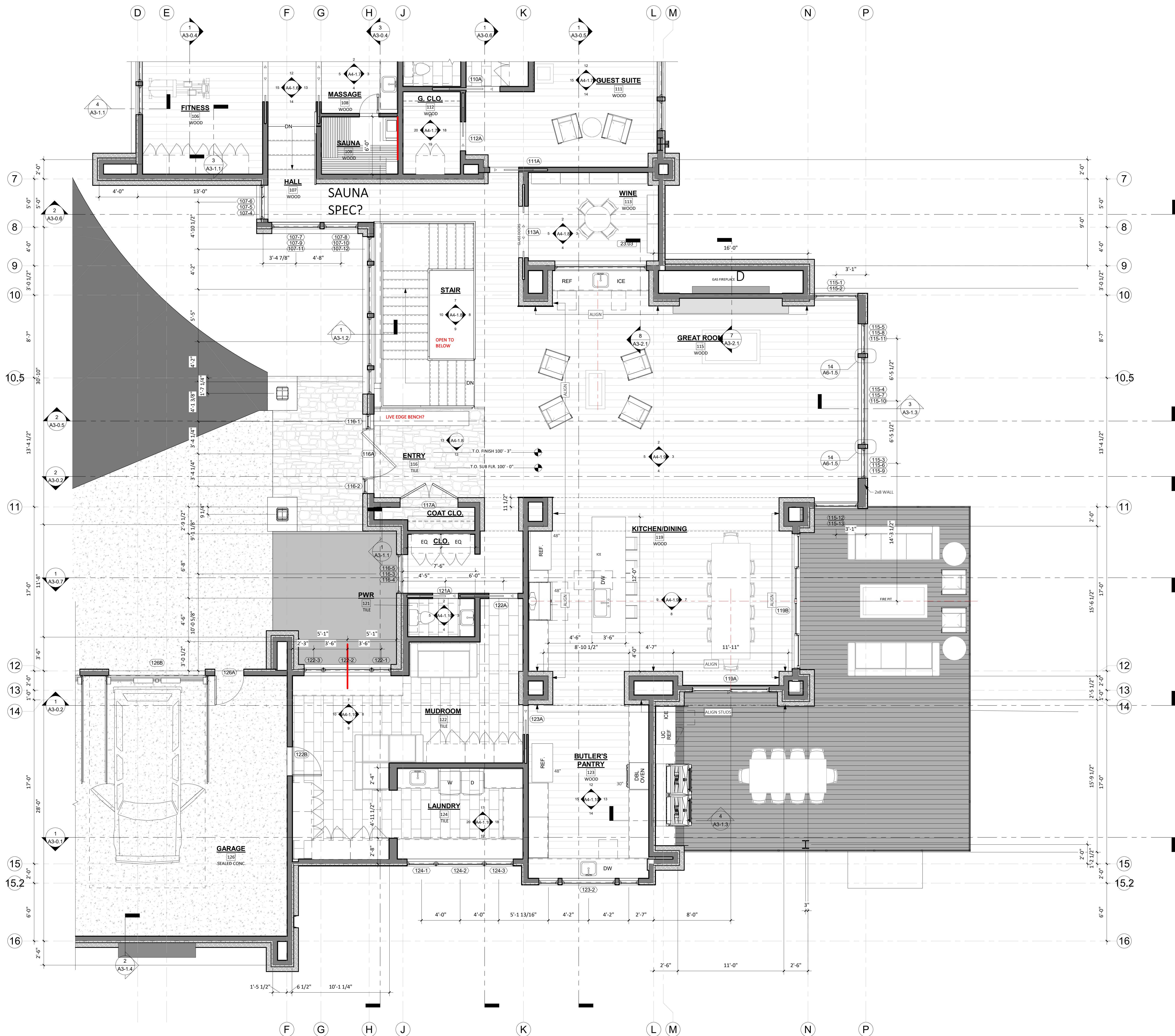
KEYNOTE NUMBER	KEYNOTE TEXT
23.03	HVAC EQUIPMENT, S.M.D.

PROJECT SQUARE FOOTAGE

NAME	AREA
LOWER LEVEL	3511.6 SF
MAIN LEVEL	5763.0 SF
HABITABLE	9274.6 SF
GARAGE	1439.4 SF
MECH	899.9 SF
MECH	365.5 SF
STORAGE	168.0 SF
NON HABITABLE	2852.8 SF
GROSS AREA	12127.4 SF

EXTERIOR SQUARE FOOTAGE

NAME	AREA
DECK	1271 SF
PATIO	2455 SF
EXTERIOR	3725 SF
TOTAL EXTERIOR	3725 SF



1 MAIN LEVEL PLAN - ENLARGED SOUTH
 1/4" = 1'-0"



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 DR. PARKER, COLORADO 80138
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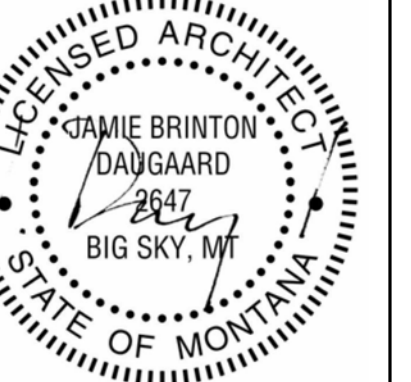
MONTANA:
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Drawn By _____ Author _____
 Date 05.18.2021
 Project # 2030.00
 Phase DESIGN DEVELOPMENT
 Sheet _____

A1-1.6
MAIN LEVEL PLAN
GARAGE

FLOOR PLAN LEGEND

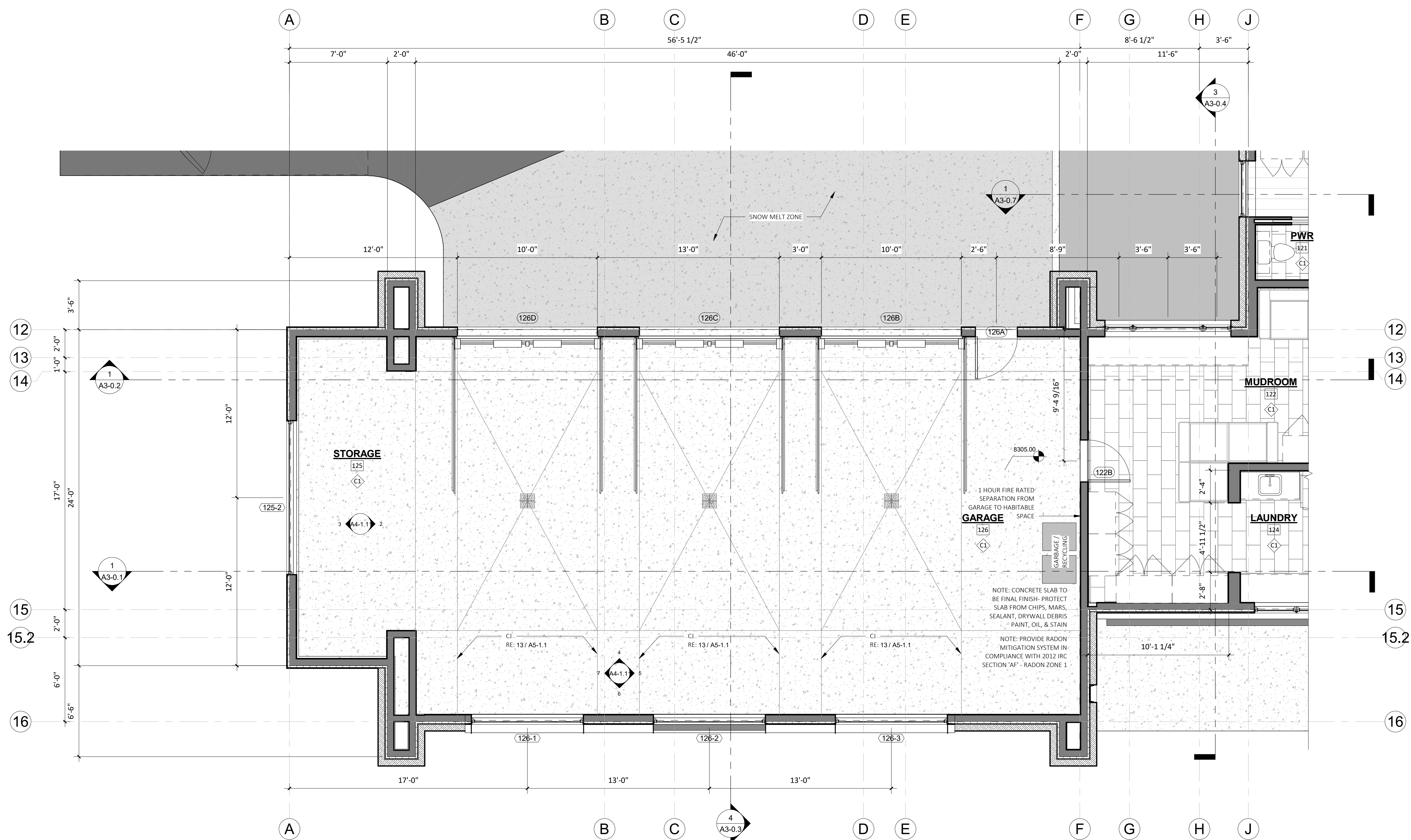
	CENTERLINE
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- 1-1/2" THICK BLOCKS AT ALL EXTERIOR SCANCES, HOSE BIB, OUTLET LOCATIONS

KEYNOTE LEGEND

KEYNOTE NUMBER	KEYNOTE TEXT
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