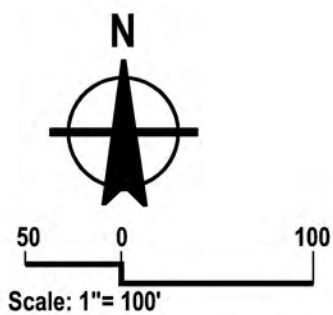


Easements

In addition to the easements shown, all lots are subject to the following access, utility, and recreation easements:

- 20' along lot lines fronting access easements unless noted
- 15' along side and rear lot lines unless noted.



YELLOWSTONE CLUB
Pine Ridge
Subdivision
Lot 301
December 2023

GENERAL LEGEND:

LOT LINES	MOUNTAIN VIEW DIRECTION	EXISTING WATER MAIN WITH VALVE, HYDRANT & WATER SERVICE	WETLAND AREAS (APPROXIMATE LOCATION)
CONTOURS=5' 7"=SPOT ELEVATION, WITH ELEVATION AS DESIGNATED	EXISTING SANITARY SEWER MAIN, CLEAN OUT, & EXISTING SEWER SERVICE	UTILITY EASEMENTS	ROAD & 60' WIDE RIGHT-OF-WAY ROAD EASEMENT
BUILDING SETBACK	EXISTING SKI LIFT & DIRECTION ARROW	PRIVATE ACCESS EASEMENTS	DRIVEWAY ACCESS
BUILDING ENVELOPE	EXISTING SKI TOWER (APPROX. LOC.)	OPEN SPACE	Dirt Road for Emergency Egress
EXISTING HOME (APPROX. LOC.)	DRAINFIELD & ALTERNATE DRAINFIELD LOCATION	PROPOSED SKI TRAIL EASEMENT (APPROX. LOC.)	PROPOSED SKI WAY CROSSING EASEMENT (APPROXIMATE LOCATION)

Directional view arrows and notations are approximate and are only to provide a general indication of the direction towards a view.
 Developer reserves the right to make changes without notice. This document is for schematic purposes only and is subject to change without notice.
 Please see Yellowstone Club authorized personnel for additional information. This document should not be a substitute for a personal site visit and inspection.